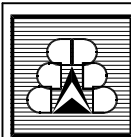


REV. 01 - FRONT MATERIAL AND COLUMNS

The undersigned has reviewed and takes responsibility for this design (when a building permit schedule 1 exists with matching content), and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION
 Name: John deVos
 Signature: [Signature]
 BCIN: 22605

REGISTRATION INFORMATION
 Name: DEVOS DESIGN & DRAFTING
 Signature: [Signature]
 BCIN: 27556



**DEVOS
 DESIGN &
 DRAFTING**

47 Spooky Hollow Road
 RR#1, Vittoria, ON
 NOE 1W0

Phone: (519) 895-8633

Ontario Registration BCIN: 27556 Qualified Designer BCIN: 22605

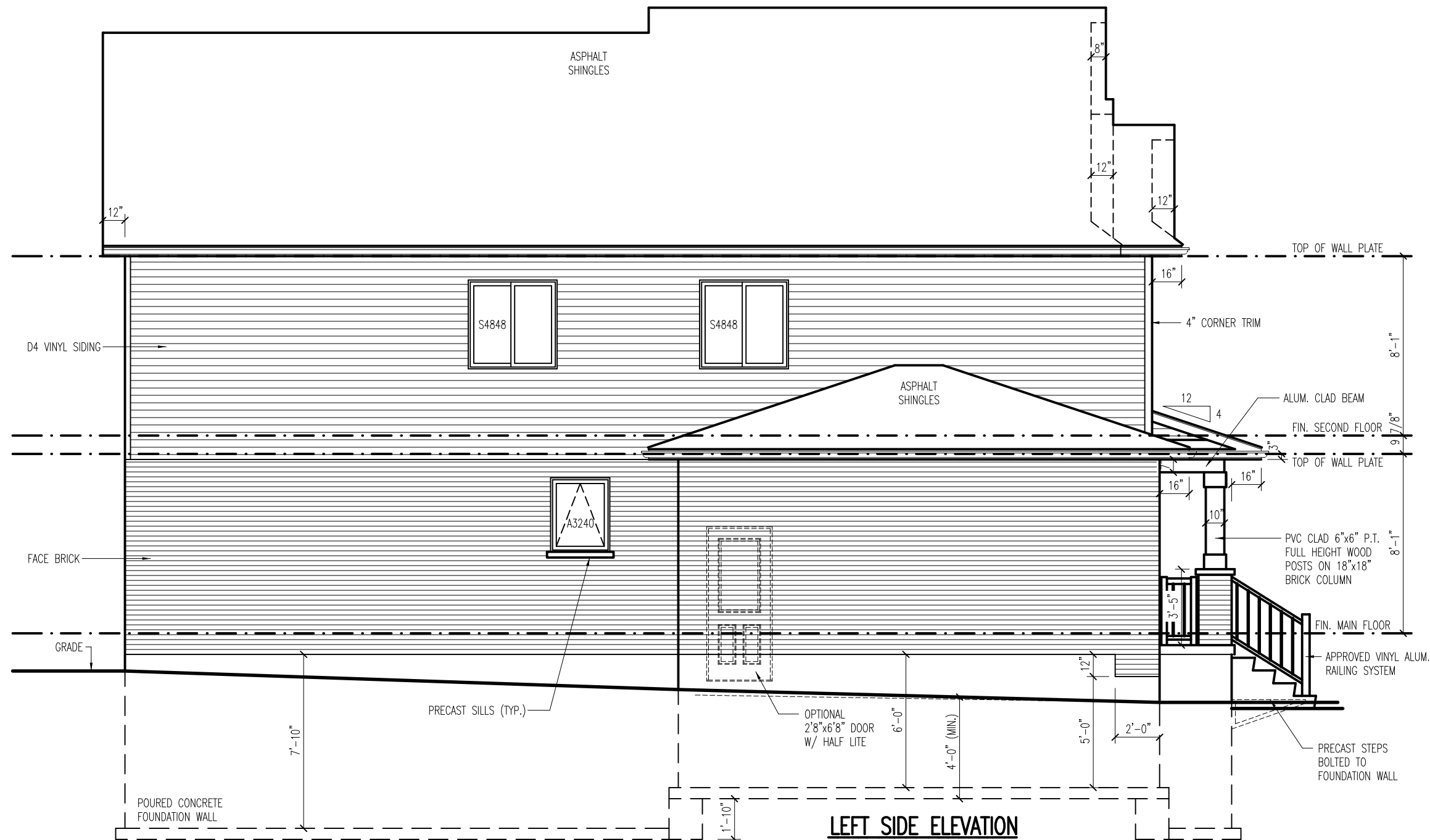
APPLE HOME BUILDERS

**THE ASH II
 LOT 30, 125 HALLIDAY DR.
 TAVISTOCK, ON**

**FRONT ELEVATION
 REAR ELEVATION**

DDD Job No. AP-20-1
 Date MAR. 20/20
 Drawn by J.d.V.
 Design by
 Checked by
 Scale 3/16"=1'-0"
 Revision 01
 Drawing No. 1-7

ENERGY EFFICIENCY DESIGN SUMMARY	
OBC SB-12 COMPLIANCE PACKAGE 'A5'	
ZONE 1 W/ AFUE ≥ 92% - NATURAL GAS FUEL	
CEILING WITH ATTIC SPACE - R50 (MIN.) CEILING WITHOUT ATTIC SPACE - R31 (MIN.) EXPOSED FLOOR - R35 (MIN.) WALLS ABOVE GRADE - R19 BATT + R5 CI (MIN.) BASEMENT WALLS - R12 BATT + R5 CI (MIN.) OR R20 BATT FOUNDATION BLANKET BELOW GRADE SLAB (ENTIRE SURFACE > 600mm BELOW GRADE) - N/A (< 600mm BELOW GRADE) - R10 (MIN.) HEATED SLAB OR SLAB (< 600mm BELOW GRADE) - R10 (MIN.) WINDOWS & SLIDING GLASS DOORS - MAX. U-VALUE - 1.6 SKYLIGHTS - MAX. U-VALUE - 2.8 SPACE HEATING EQUIPMENT - MIN. AFUE - 94% HRV - MIN. EFFICIENCY - 70% DOMESTIC HOT WATER HEATER - MIN. EF 0.8 (DWHR) DRAIN WATER HEAT RECOVERY UNITS - MIN. EFFICIENCY - 42%	
GROSS AREA OF GLAZING (SQ. FT.)	257.09
GROSS AREA OF PERIMETER WALLS ABOVE GRADE (SQ. FT.)	2785.15
PERCENTAGE OF GLAZING	9.2 %



LEFT SIDE ELEVATION

REV. 01 - FRONT MATERIAL AND COLUMNS

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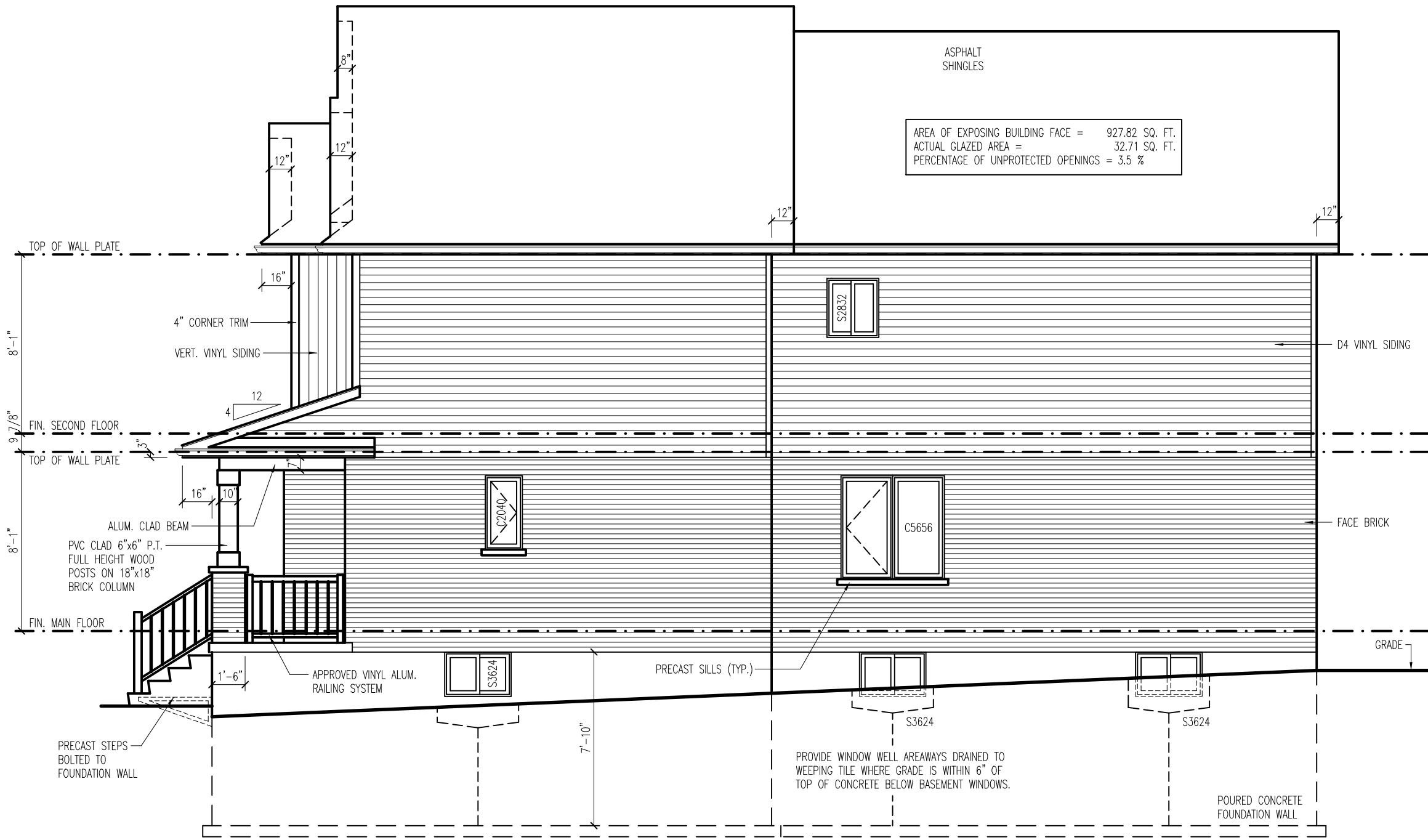
LEFT SIDE ELEVATION

LOT 30, THE ASH II
TAVISTOCK, ON

DDJ Job No.	AP-20-1
Date	MAR. 20/20
Drawn by	J.d.V.
Design by	
Checked by	
Scale	3/16"=1'-0"
Revision	01
Drawing No.	2-7

ASPHALT SHINGLES

AREA OF EXPOSING BUILDING FACE = 927.82 SQ. FT.
 ACTUAL GLAZED AREA = 32.71 SQ. FT.
 PERCENTAGE OF UNPROTECTED OPENINGS = 3.5 %



RIGHT SIDE ELEVATION

REV. 01 - FRONT MATERIAL AND COLUMNS

DEVOS DESIGN & DRAFTING

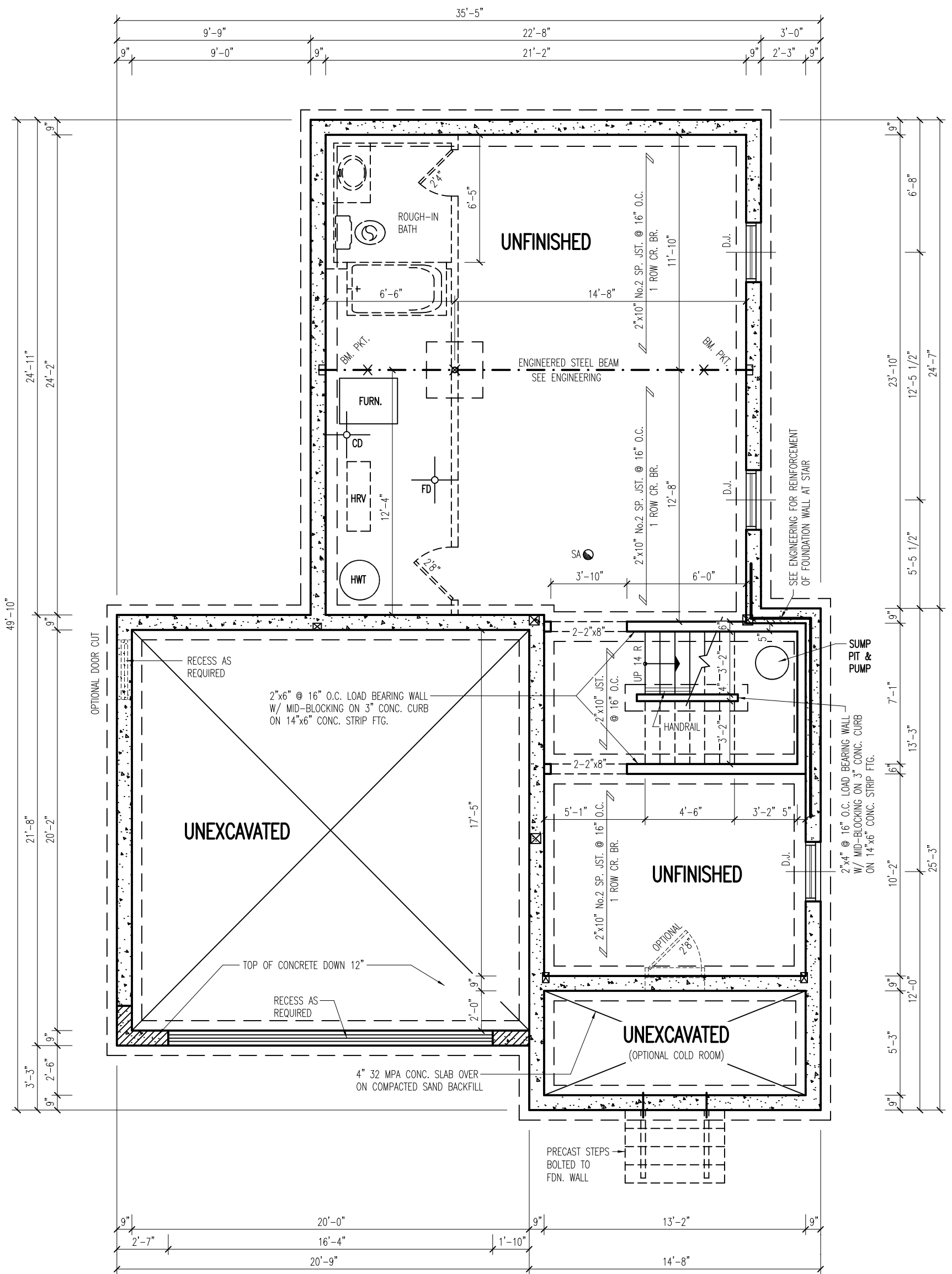
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APPLE HOME BUILDERS

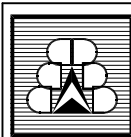
THE ASH II
 LOT 30, 125 HALLIDAY DR.
 TAVISTOCK, ON

RIGHT SIDE ELEVATION

DDJ Job No.	AP-20-1
Date	MAR. 20/20
Drawn by	J.d.v.
Design by	
Checked by	
Scale	3/16"=1'-0"
Revision	01
Drawing No.	3-7



BASEMENT PLAN



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DRAFTING**

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APPLE HOME BUILDERS

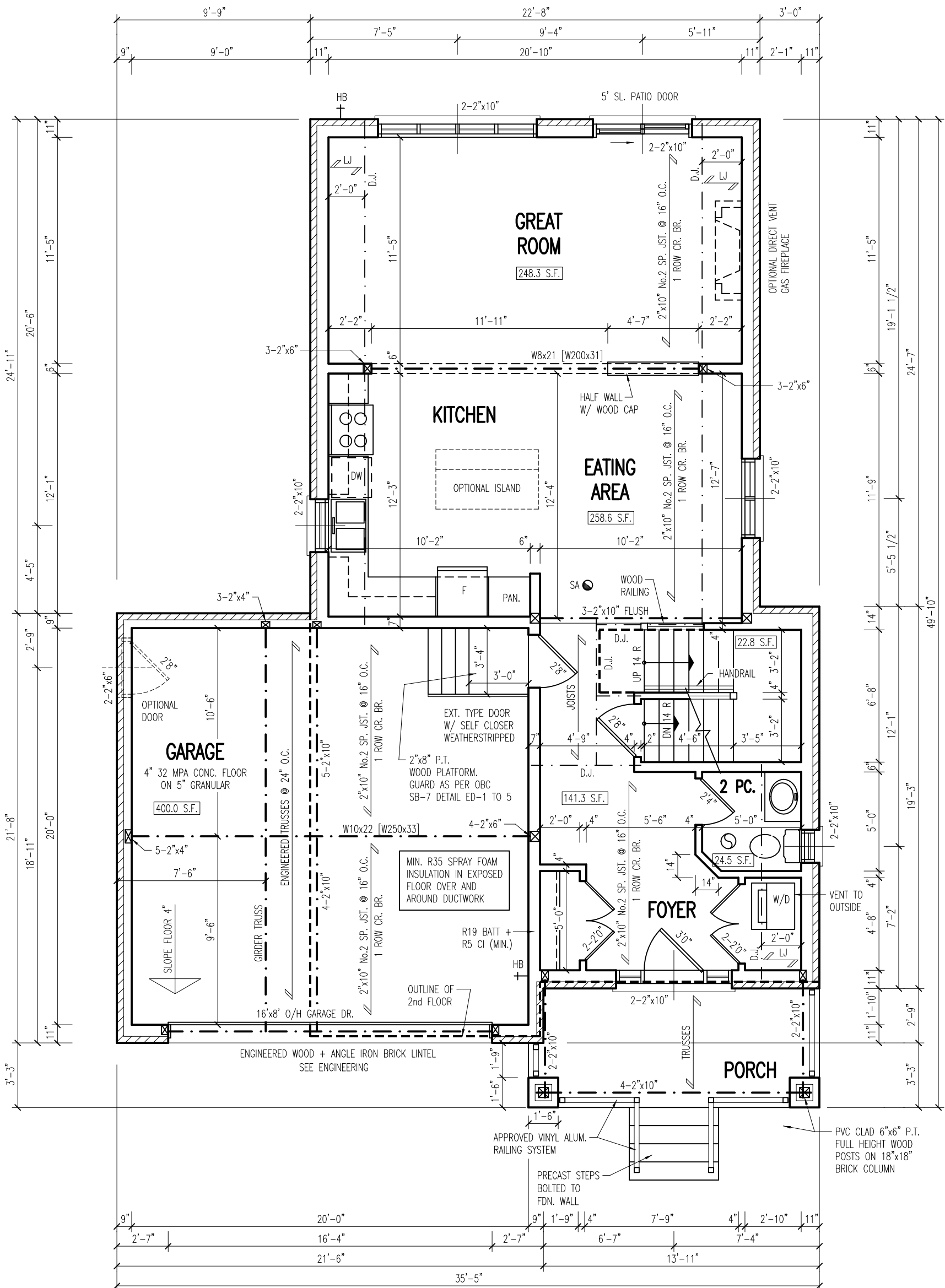
**THE ASH II
LOT 30, 125 HALLIDAY DR.
TAVISTOCK, ON**

BASEMENT PLAN

DDD Job No. AP-20-1
Date MAR. 20/20
Drawn by J.d.V.
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Scale 3/16"=1'-0"

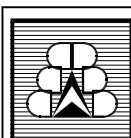
Revision 01

Drawing No. 4-7



MAIN FLOOR PLAN

MAIN FLOOR AREA = 851.47 SQ. FT.
 SECOND FLOOR AREA = 1067.47 SQ. FT.
 TOTAL FINISHED AREA = 1918.94 SQ. FT.



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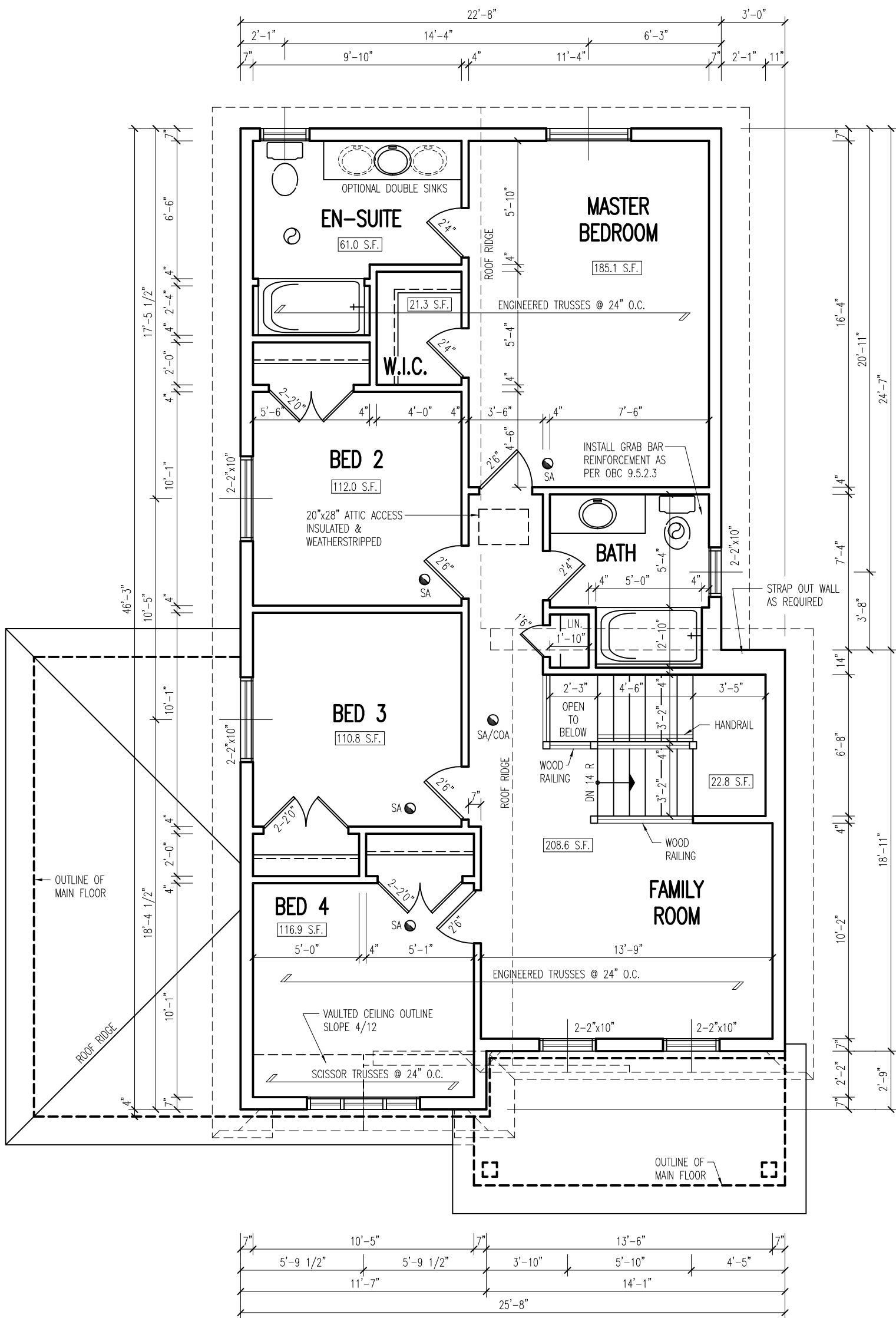
**THE ASH II
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MAIN FLOOR PLAN

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 Drawn by J.d.V.
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Drawing No. 5-7



SECOND FLOOR PLAN

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APPLE HOME BUILDERS

THE ASH II
LOT 30, 125 HALLIDAY DR.
 TAVISTOCK, ON

SECOND FLOOR PLAN

DDD Job No.	AP-20-1
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Drawn by	J.d.V.
Design by	
Checked by	
Scale	3/16"=1'-0"
Revision	01
Drawing No.	6-7

GENERAL NOTES

1. STAIR REQUIREMENTS

RISE, MAX. - $7\frac{7}{8}$ ", MIN. - $4\frac{7}{8}$ "
 STAIR RUN 9", MIN. - $8\frac{1}{4}$ ", MAX. - 14"
 STAIR TREAD 10", MIN. TREAD WIDTH $9\frac{1}{4}$ "
 1" NOSING
 MAINTAIN UNIFORM RISE/RUN
 6'5" MIN. HEADROOM. 36" MAX. HANDRAIL HEIGHT. 35" MIN. GUARDRAIL HEIGHT. 4" MAX. OPENINGS IN GUARDS. NON-CLIMBABLE RAILINGS. EXTERIOR STAIRS PROVIDING AN ELEVATION DIFFERENCE OF MORE THAN 24" MUST HAVE RAILINGS.


2. INSTALL NON-ENGINEERED HANDRAILS, GUARDS, AND STAIRS IN ACCORDANCE WITH O.B.C. SECTION SB-7.

3. TRUSS NOTES: VERIFY TRUSS SUPPLIER LAYOUT DRAWINGS MATCH THESE DRAWINGS. BEAM SIZES, SUPPORTING COLUMNS AND FOOTINGS SHOWN ON THESE DRAWINGS TO USED ONLY FOR THE TRUSS LAYOUT SHOWN ON THESE DRAWINGS. THESE DRAWINGS ARE NOT TO BE USED IF TRUSS SUPPLIER LAYOUT AND/OR GIRDER TRUSS OFFSETS ARE DIFFERENT THAN SHOWN ON THESE DRAWINGS. PROVIDE TRUSS UPLIFT ANCHORS IF REQUIRED BY TRUSS DESIGN.

4. ALL STEEL BEAMS TO BE G40.21 350W GRADE. ALL SCL/LVL/PSL BEAMS TO BE MINIMUM 2.OE. STICK FRAMING TO BE NO. 2 SPF OR BETTER.

5. ALL SCL/LVL/PSL BEAMS AND ALL POINT LOADED BEAMS TO BE DESIGNED BY A PROFESSIONAL ENGINEER.

6. ALL BEAMS & LINTELS TO BE SUPPORTED FULL WIDTH TO FOUNDATION, OR APPROVED BEAMS.

7.  THIS SYMBOL DENOTES A SOLID SUPPORT IS REQUIRED. STUDS PROVIDING A MINIMUM OF FULL WIDTH SUPPORT AND $3\frac{1}{2}$ " MINIMUM BEARING LENGTH IS REQUIRED UNLESS NOTED OTHERWISE. PROVIDE 2 STUDS MINIMUM WHERE NO OTHER INFORMATION IS AVAILABLE. PROVIDE FULL WIDTH BLOCKING IN ALL JOIST SPACES. KING STUDS ARE IN ADDITION TO NUMBER SHOWN WHERE STUDS ARE NOT CONTINUOUS TO PLATES.

8. SUPPORT NON-LOAD BEARING PARTITIONS WITH DOUBLE JOIST OR BLOCKING BELOW, WHERE WALL RUNS PARALLEL TO SUPPORTING JOISTS.

9. DOUBLE TRIMMER AND HEADER JOISTS AROUND FLOOR OPENINGS UNLESS OTHERWISE NOTED.

10. PROVIDE BLOCKING OR DOUBLE JOISTS UNDER ALL STUDS THAT SUPPORT LINTELS FOR CEILING JOISTS AT INTERIOR DOOR JAMBS.

11. GASPROOF ATTACHED GARAGES FROM LIVING SPACE.

12. FORCED AIR GAS HEATING AND VENTILATION SYSTEM SHALL BE DESIGNED UNDER O.B.C. PART 6. SYSTEM TO INCLUDE A HEAT RECOVERY VENTILATOR.

13. SWITCHES FOR THE VENTILATION & CIRCULATION FANS SHALL BE LOCATED NEAR THE THERMOSTAT.

14. VENT BATHROOM FANS DIRECT TO OUTSIDE.

15. RANGE HOOD AND CLOTHES DRYER TO BE VENTED TO OUTSIDE WITH METAL PIPING.

16. INSTALL GRAB BAR REINFORCEMENT AS PER OBC 9.5.2.3 IN MAIN BATHROOM.

17. FLOOR LEVELS CONTAINING BEDROOMS TO HAVE AT LEAST ONE WINDOW WITH AN UNOBSTRUCTED OPERABLE AREA OF 3.8 SQ.FT. OR GREATER WITH NO DIMENSION LESS THAN 15", EXCEPT WHERE A DOOR IS PROVIDED TO THE EXTERIOR ON THE SAME LEVEL.

18. ALL BRICK LINTELS TO BE $3\frac{1}{2}$ "x $3\frac{1}{2}$ "x $\frac{1}{4}$ " STEEL ANGLE UNLESS OTHERWISE SHOWN.

19. ATTIC VENTILATION TO COMPLY WITH OBC 9.32

20. HEADROOM UNDER DUCTS AND BEAMS - MIN 6'-5".

21. CERAMIC FLOORS TO BE SUPPORTED AS PER OBC 9.30.6.3

22. ALL WOOD IN CONTACT WITH CONCRETE TO BE PROTECTED FROM MOISTURE.

23 EXTERIOR CONCRETE STAIRS OVER TWO TREADS/RISERS TO BE SUPPORTED ON A FOUNDATION.

24. ALL LIGHTING AND ELECTRICAL TO COMPLY WITH OBC 9.34

25. PROVIDE SMOKE ALARMS IN ALL BEDROOMS AND ON ALL FLOOR LEVELS AS REQUIRED BY OBC 9.10.19. SA/CO ALARMS ARE REQUIRED ADJACENT EACH SLEEPING AREA AND ALL ALARMS ARE TO BE INTERCONNECTED.

26. WINDOW SIZES SHOWN ON ELEVATIONS ARE NOMINAL RSO SIZES IN INCHES. WINDOW SIZES PREFIXED BY LETTERS INDICATE TYPE OF WINDOW AS FOLLOWS:
 A - AWNING S - SLIDER
 C - CASEMENT AC - ARCH CASEMENT
 D - DOUBLE HUNG CH - CIRCLEHEAD
 G - GOTHIC QR - QUARTER ROUND
 P - PICTURE SEG - SEGMENTAL

27. PROVIDE WINDOW WELL AREAWAYS DRAINED TO WEeping TILE WHERE GRADE IS WITHIN 6" OF TOP OF CONCRETE BELOW BASEMENT WINDOWS.

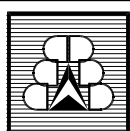
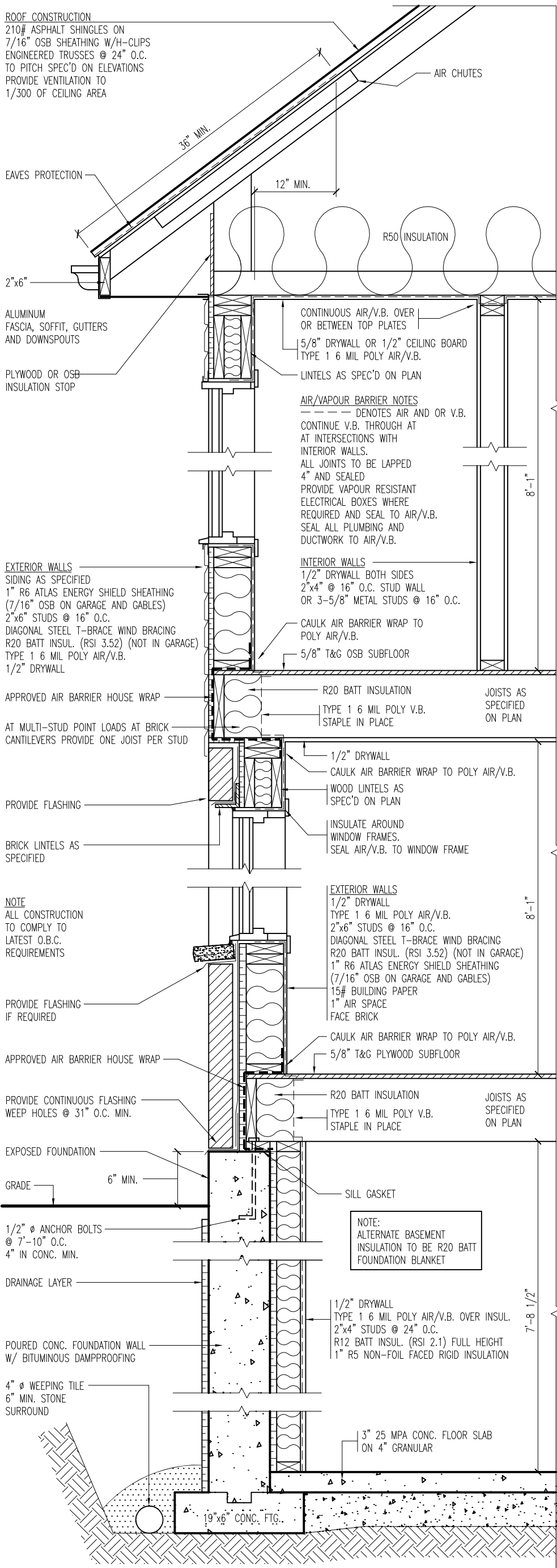
28. ADJUST FOOTINGS FOR HIGH WATER TABLE IF APPLICABLE AS PER OBC 9.15.3.4

29. DO NOT USE FOIL FACED INSULATION BOARDS AGAINST CONCRETE BASEMENT WALLS.

30. CONTRACTOR TO VERIFY CORRECTNESS AND SUITABILITY OF DRAWINGS FOR INTENDED PURPOSE

ROOF CONSTRUCTION

210# ASPHALT SHINGLES ON
 7/16" OSB SHEATHING W/H-CLIPS
 ENGINEERED TRUSSES @ 24" O.C.
 TO PITCH SPEC'D ON ELEVATIONS
 PROVIDE VENTILATION TO
 1/300 OF CEILING AREA



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APPLE HOME BUILDERS

TYPICAL SECTION