

The undersigned has reviewed and takes responsibility for this design (when a building permit schedule 1 exists with matching content), and has the qualifications and meets the requirements set out in the Ontario Building Code to be a designer.

QUALIFICATION INFORMATION

John DeVos 22605
Name Signature BCIN

REGISTRATION INFORMATION

DEVOS DESIGN & DRAFTING 27556
Name Signature BCIN

DEVOS DESIGN & DRAFTING

47 Spooky Hollow Road
RR#1, Vittoria, ON
NOE 1W0

Phone: (519) 895-8633

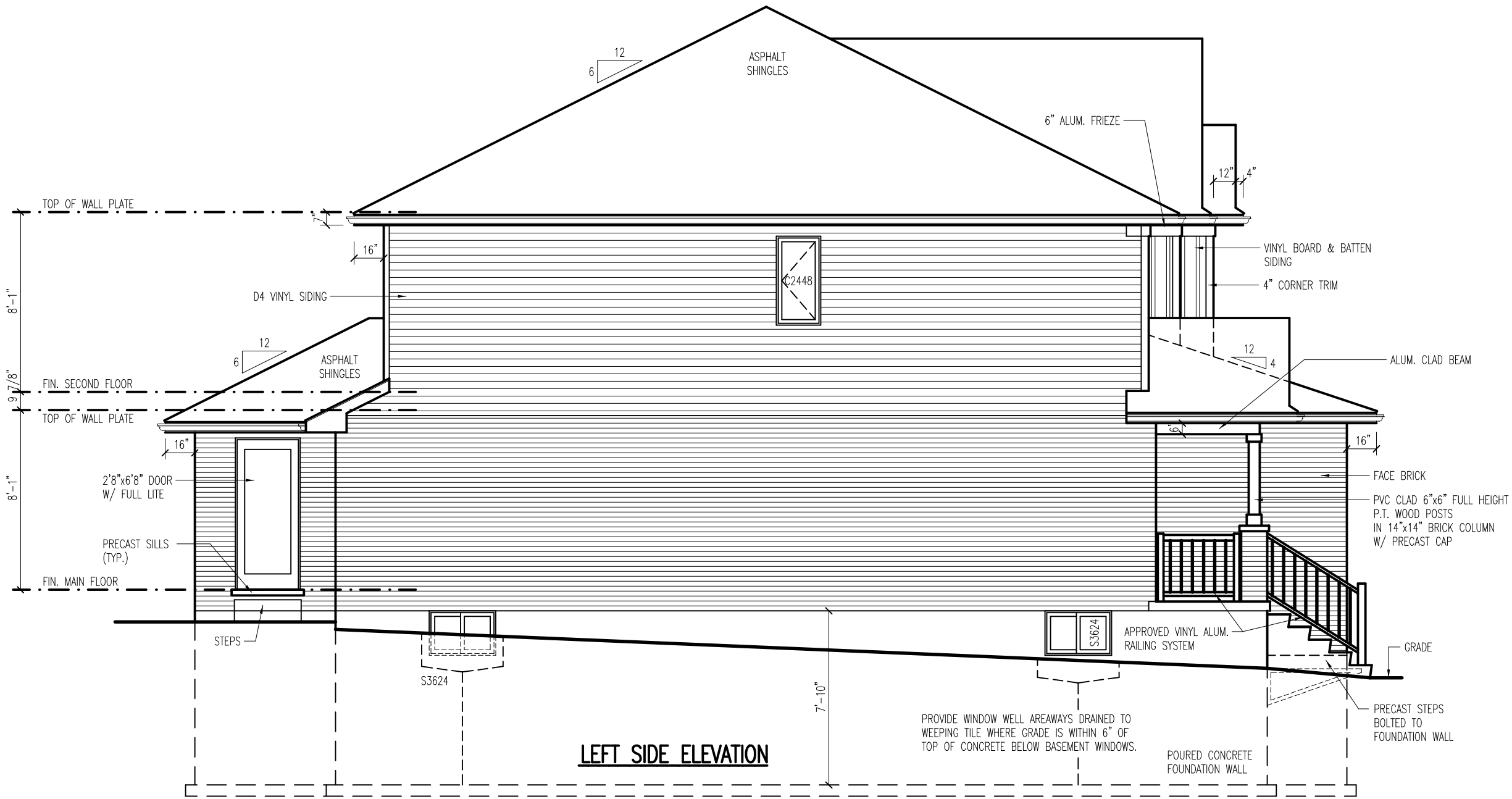
Ontario Registration BCIN: 27556 Qualified Designer BCIN: 22605

APPLE HOME BUILDERS

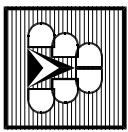
THE CHESTNUT 1929 - ELEV. 'A'
LOT 31, 121 HALLIDAY DR.
TAVISTOCK, ON

FRONT ELEVATION
REAR ELEVATION

DDD Job No.	AP-20-2
Date	MAR. 19/20
Drawn by	J.d.V.
Design by	
Checked by	
Scale	3/16"=1'-0"
Revision	01
Drawing No.	1-7



LEFT SIDE ELEVATION



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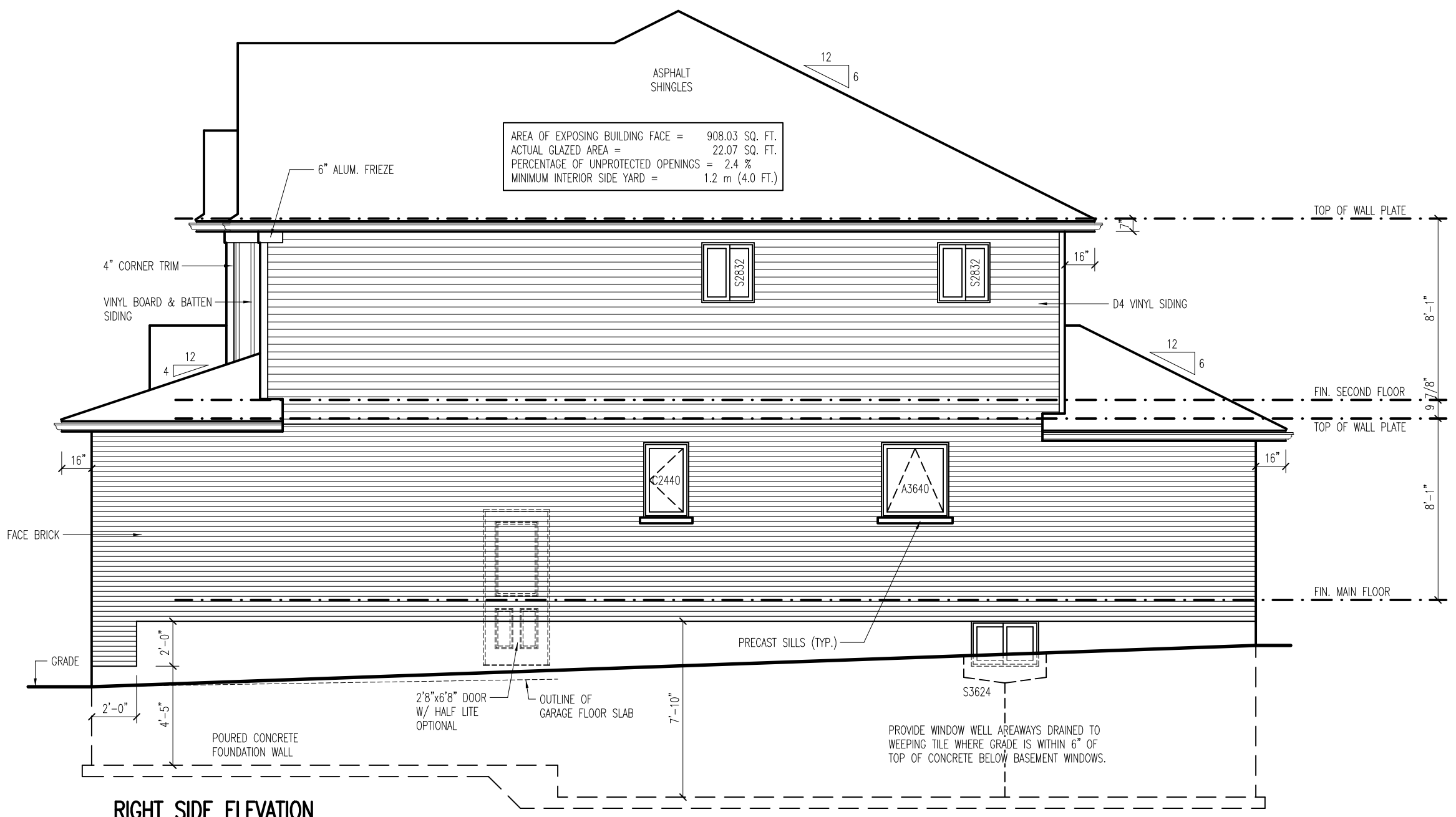
APPLE HOME BUILDERS

THE CHESTNUT 1929 – ELEV. 'A'
LOT 31, 121 HALLIDAY DR.
TAVISTOCK, ON

LEFT SIDE ELEVATION

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ENERGY EFFICIENCY DESIGN SUMMARY	
OBC SB-12 COMPLIANCE PACKAGE 'A5'	
ZONE 1 W/ AFUE ≥ 92% - NATURAL GAS FUEL	
CEILING WITH ATTIC SPACE - R50 (MIN.)	
CEILING WITHOUT ATTIC SPACE - R31 (MIN.)	
EXPOSED FLOOR - R35 (MIN.)	
WALLS ABOVE GRADE - R19 BATT + R5 CI (MIN.)	
BASEMENT WALLS - R12 BATT + R5 CI (MIN.)	
OR R20 BATT FOUNDATION BLANKET	
BELOW GRADE SLAB (ENTIRE SURFACE	
> 600mm BELOW GRADE) - N/A	
EDGE OF BELOW GRADE SLAB	
(< 600mm BELOW GRADE) - R10 (MIN.)	
HEATED SLAB OR SLAB	
(< 600mm BELOW GRADE) - R10 (MIN.)	
WINDOWS & SLIDING GLASS DOORS	
- MAX. U-VALUE - 1.6	
SKYLIGHTS - MAX. U-VALUE - 2.8	
SPACE HEATING EQUIPMENT - MIN. AFUE - 94%	
HRV - MIN. EFFICIENCY - 70%	
DOMESTIC HOT WATER HEATER - MIN. EF 0.8	
(DWHR) DRAIN WATER HEAT RECOVERY UNITS	
- MIN. EFFICIENCY - 42%	
GROSS AREA OF GLAZING (SQ. FT.)	230.07
GROSS AREA OF PERIMETER	
WALLS ABOVE GRADE (SQ. FT.)	2764.00
PERCENTAGE OF GLAZING	8.3 %



RIGHT SIDE ELEVATION

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RIGHT SIDE ELEVATION

THE CHESTNUT 1929 - ELEV. 'A'

LOT 31, 121 HALLIDAY DR.

TAVISTOCK, ON

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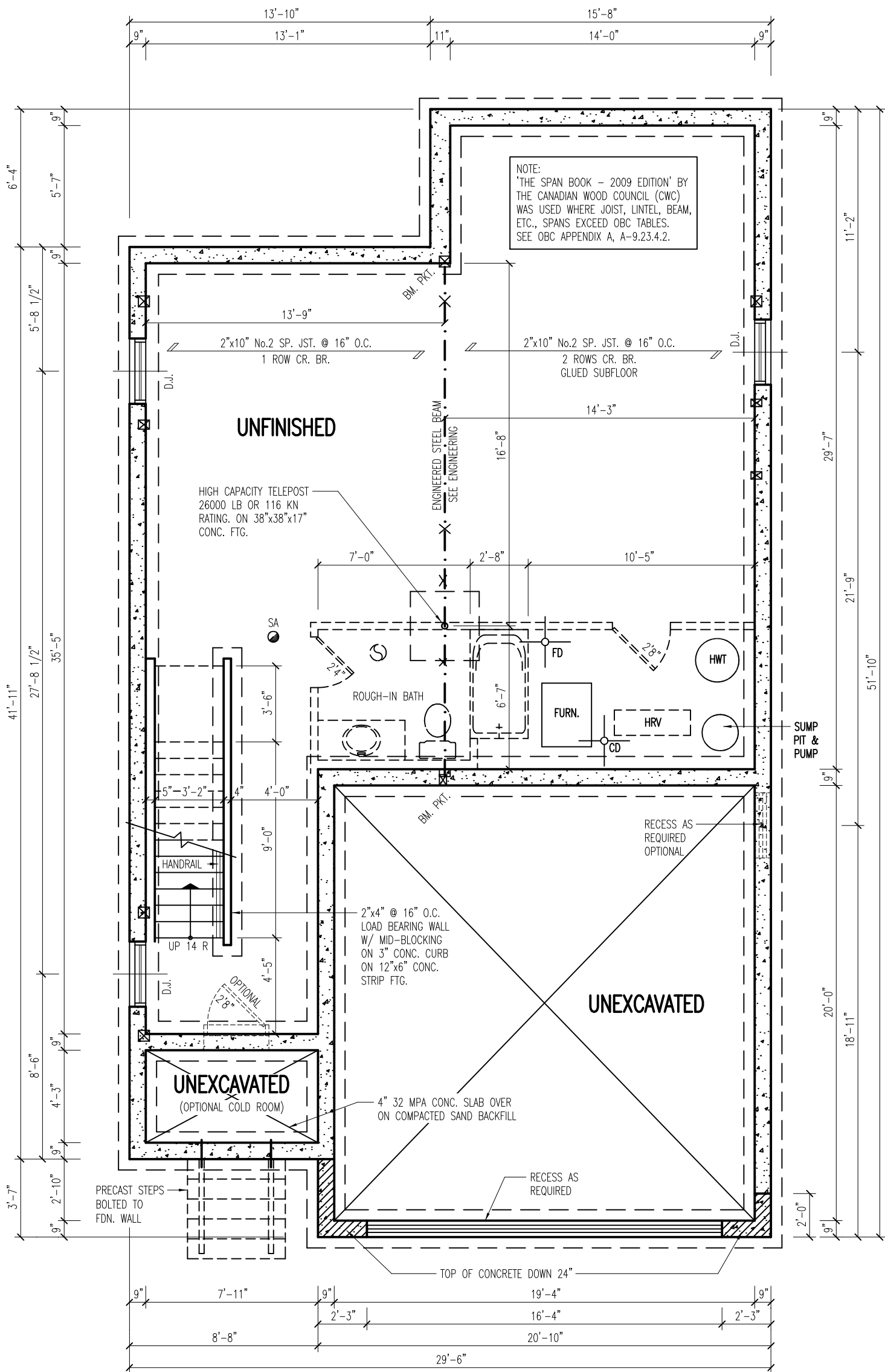
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Revision 01

Drawing No. 3-7



BASEMENT PLAN

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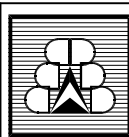
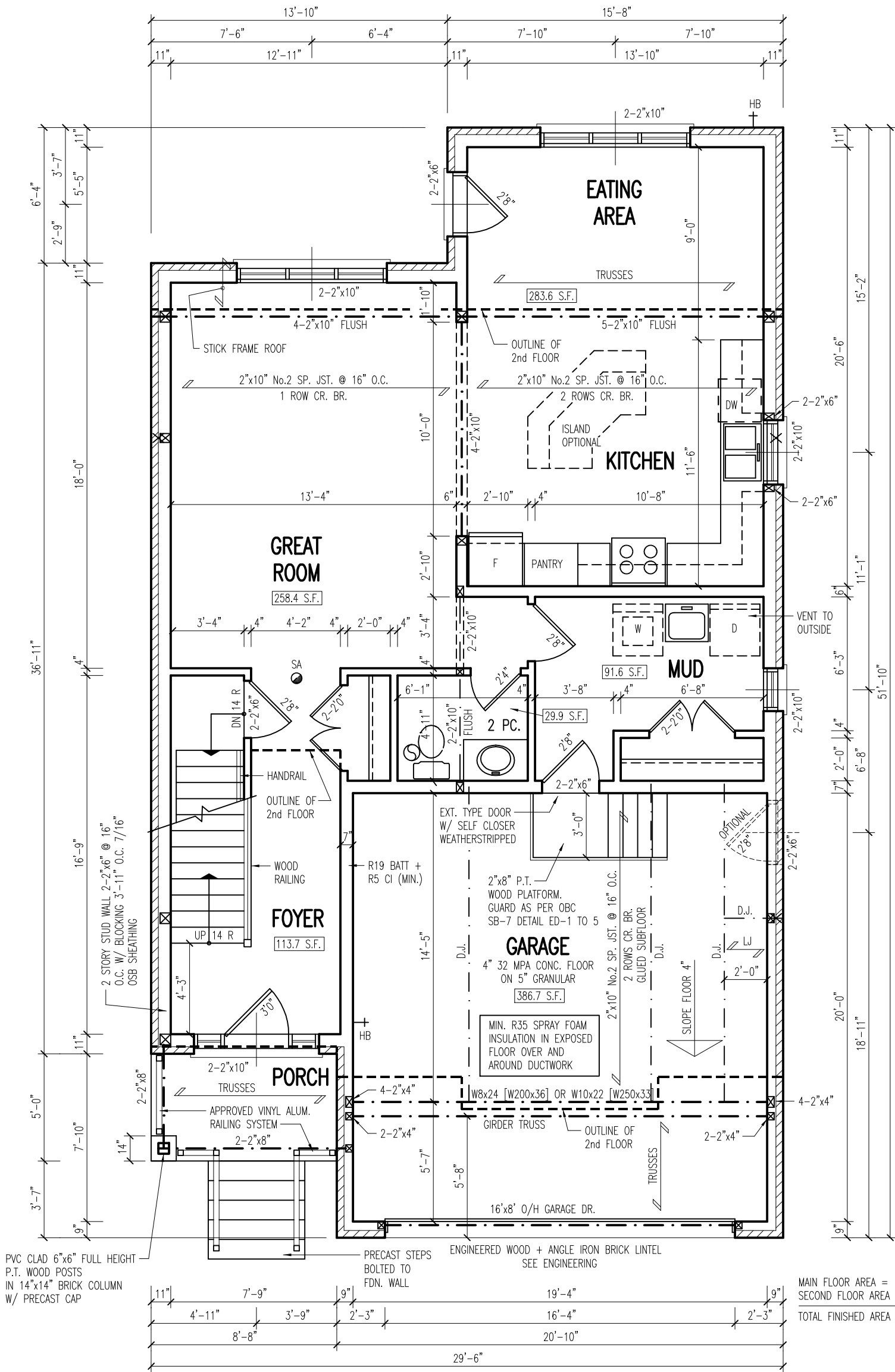
THE CHESTNUT 1929 - ELEV. 'A'
LOT 31, 121 HALLIDAY DR.
 TAVISTOCK, ON

DDD Job No. AP-20-2
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APPLE HOME BUILDERS

BASEMENT PLAN

Revision 01
 Drawing No. 4-7



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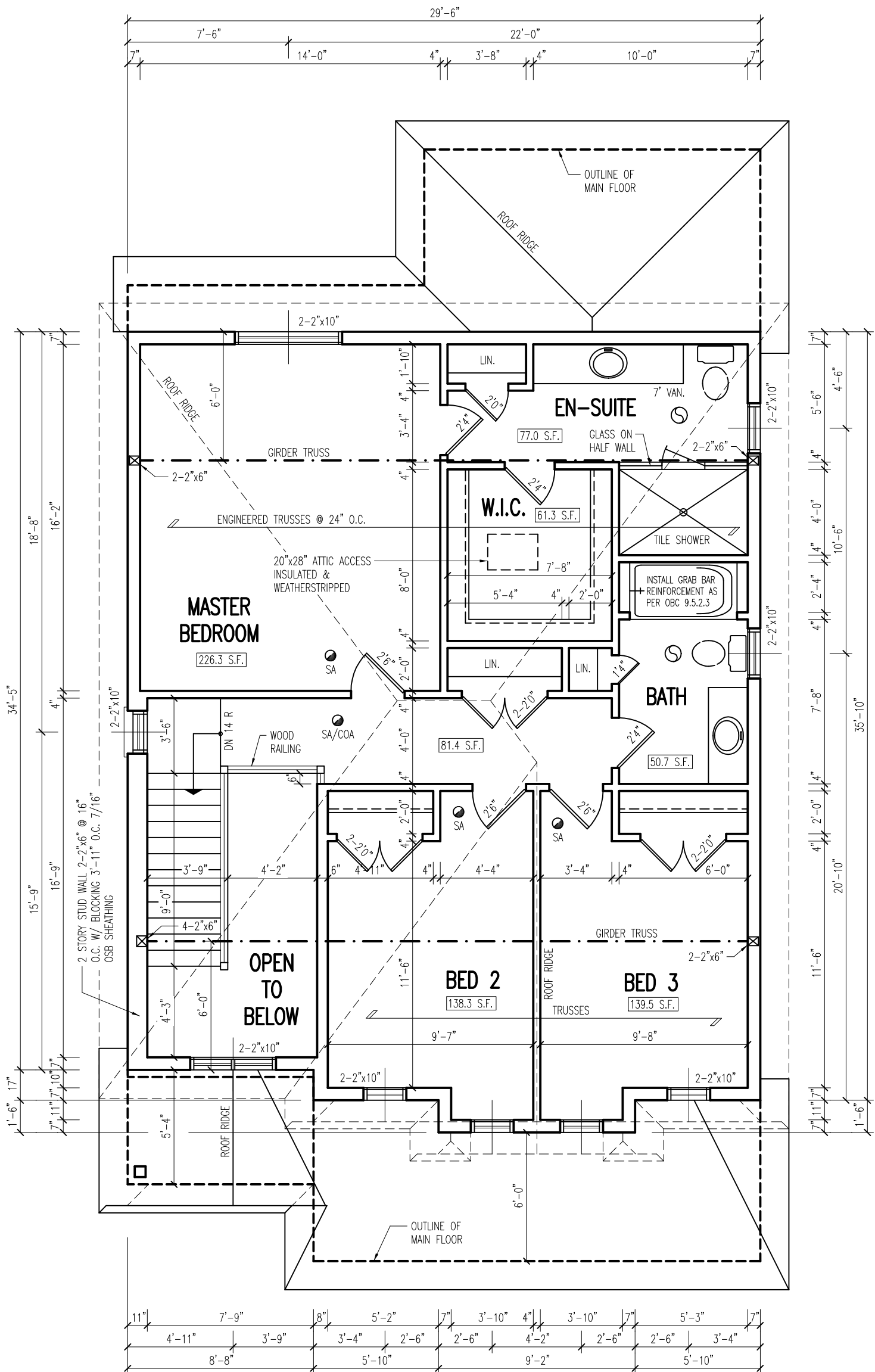
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MAIN FLOOR PLAN

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Revision 01

Drawing No. 5-7



SECOND FLOOR PLAN

REV. 01 - OPTIONAL SINKS DELETED

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THE CHESTNUT 1929 - ELEV. 'A'
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APPLE HOME BUILDERS

SECOND FLOOR PLAN

Revision	01
Drawing No.	6-7

GENERAL NOTES

1. STAIR REQUIREMENTS

RISE, MAX. - $7\frac{7}{8}$ ", MIN. - $4\frac{7}{8}$ "
 STAIR RUN 9", MIN. - $8\frac{1}{4}$ ", MAX. - 14"
 STAIR TREAD 10", MIN. TREAD WIDTH $9\frac{1}{4}$ "
 1" NOSING
 MAINTAIN UNIFORM RISE/RUN
 6'5" MIN. HEADROOM. 36" MAX. HANDRAIL HEIGHT. 35" MIN. GUARDRAIL HEIGHT. 4" MAX. OPENINGS IN GUARDS. NON-CLIMBABLE RAILINGS. EXTERIOR STAIRS PROVIDING AN ELEVATION DIFFERENCE OF MORE THAN 24" MUST HAVE RAILINGS.


2. INSTALL NON-ENGINEERED HANDRAILS, GUARDS, AND STAIRS IN ACCORDANCE WITH O.B.C. SECTION SB-7.

3. TRUSS NOTES: VERIFY TRUSS SUPPLIER LAYOUT DRAWINGS MATCH THESE DRAWINGS. BEAM SIZES, SUPPORTING COLUMNS AND FOOTINGS SHOWN ON THESE DRAWINGS TO USED ONLY FOR THE TRUSS LAYOUT SHOWN ON THESE DRAWINGS. THESE DRAWINGS ARE NOT TO BE USED IF TRUSS SUPPLIER LAYOUT AND/OR GIRDER TRUSS OFFSETS ARE DIFFERENT THAN SHOWN ON THESE DRAWINGS. PROVIDE TRUSS UPLIFT ANCHORS IF REQUIRED BY TRUSS DESIGN.

4. ALL STEEL BEAMS TO BE G40.21 350W GRADE. ALL SCL/LVL/PSL BEAMS TO BE MINIMUM 2.OE. STICK FRAMING TO BE NO. 2 SPF OR BETTER.

5. ALL SCL/LVL/PSL BEAMS AND ALL POINT LOADED BEAMS TO BE DESIGNED BY A PROFESSIONAL ENGINEER.

6. ALL BEAMS & LINTELS TO BE SUPPORTED FULL WIDTH TO FOUNDATION, OR APPROVED BEAMS.

7.  THIS SYMBOL DENOTES A SOLID SUPPORT IS REQUIRED. STUDS PROVIDING A MINIMUM OF FULL WIDTH SUPPORT AND $3\frac{1}{2}$ " MINIMUM BEARING LENGTH IS REQUIRED UNLESS NOTED OTHERWISE. PROVIDE 2 STUDS MINIMUM WHERE NO OTHER INFORMATION IS AVAILABLE. PROVIDE FULL WIDTH BLOCKING IN ALL JOIST SPACES. KING STUDS ARE IN ADDITION TO NUMBER SHOWN WHERE STUDS ARE NOT CONTINUOUS TO PLATES.

8. SUPPORT NON-LOAD BEARING PARTITIONS WITH DOUBLE JOIST OR BLOCKING BELOW, WHERE WALL RUNS PARALLEL TO SUPPORTING JOISTS.

9. DOUBLE TRIMMER AND HEADER JOISTS AROUND FLOOR OPENINGS UNLESS OTHERWISE NOTED.

10. PROVIDE BLOCKING OR DOUBLE JOISTS UNDER ALL STUDS THAT SUPPORT LINTELS FOR CEILING JOISTS AT INTERIOR DOOR JAMBS.

11. GASPROOF ATTACHED GARAGES FROM LIVING SPACE.

12. FORCED AIR GAS HEATING AND VENTILATION SYSTEM SHALL BE DESIGNED UNDER O.B.C. PART 6. SYSTEM TO INCLUDE A HEAT RECOVERY VENTILATOR.

13. SWITCHES FOR THE VENTILATION & CIRCULATION FANS SHALL BE LOCATED NEAR THE THERMOSTAT.

14. VENT BATHROOM FANS DIRECT TO OUTSIDE.

15. RANGE HOOD AND CLOTHES DRYER TO BE VENTED TO OUTSIDE WITH METAL PIPING.

16. INSTALL GRAB BAR REINFORCEMENT AS PER OBC 9.5.2.3 IN MAIN BATHROOM.

17. FLOOR LEVELS CONTAINING BEDROOMS TO HAVE AT LEAST ONE WINDOW WITH AN UNOBSTRUCTED OPERABLE AREA OF 3.8 SQ.FT. OR GREATER WITH NO DIMENSION LESS THAN 15", EXCEPT WHERE A DOOR IS PROVIDED TO THE EXTERIOR ON THE SAME LEVEL.

18. ALL BRICK LINTELS TO BE $3\frac{1}{2}$ "x $3\frac{1}{2}$ "x $\frac{1}{4}$ " STEEL ANGLE UNLESS OTHERWISE SHOWN.

19. ATTIC VENTILATION TO COMPLY WITH OBC 9.32

20. HEADROOM UNDER DUCTS AND BEAMS - MIN 6'-5".

21. CERAMIC FLOORS TO BE SUPPORTED AS PER OBC 9.30.6.3

22. ALL WOOD IN CONTACT WITH CONCRETE TO BE PROTECTED FROM MOISTURE.

23 EXTERIOR CONCRETE STAIRS OVER TWO TREADS/RISERS TO BE SUPPORTED ON A FOUNDATION.

24. ALL LIGHTING AND ELECTRICAL TO COMPLY WITH OBC 9.34

25. PROVIDE SMOKE ALARMS IN ALL BEDROOMS AND ON ALL FLOOR LEVELS AS REQUIRED BY OBC 9.10.19. SA/CO ALARMS ARE REQUIRED ADJACENT EACH SLEEPING AREA AND ALL ALARMS ARE TO BE INTERCONNECTED.

26. WINDOW SIZES SHOWN ON ELEVATIONS ARE NOMINAL RSO SIZES IN INCHES. WINDOW SIZES PREFIXED BY LETTERS INDICATE TYPE OF WINDOW AS FOLLOWS:
 A - AWNING S - SLIDER
 C - CASEMENT AC - ARCH CASEMENT
 D - DOUBLE HUNG CH - CIRCLEHEAD
 G - GOTHIC QR - QUARTER ROUND
 P - PICTURE SEG - SEGMENTAL

27. PROVIDE WINDOW WELL AREAWAYS DRAINED TO WEeping TILE WHERE GRADE IS WITHIN 6" OF TOP OF CONCRETE BELOW BASEMENT WINDOWS.

28. ADJUST FOOTINGS FOR HIGH WATER TABLE IF APPLICABLE AS PER OBC 9.15.3.4

29. DO NOT USE FOIL FACED INSULATION BOARDS AGAINST CONCRETE BASEMENT WALLS.

30. CONTRACTOR TO VERIFY CORRECTNESS AND SUITABILITY OF DRAWINGS FOR INTENDED PURPOSE

ROOF CONSTRUCTION
 210# ASPHALT SHINGLES ON
 7/16" OSB SHEATHING W/H-CLIPS
 ENGINEERED TRUSSES @ 24" O.C.
 TO PITCH SPEC'D ON ELEVATIONS
 PROVIDE VENTILATION TO
 1/300 OF CEILING AREA

EAVES PROTECTION
 2"x6"
 ALUMINUM FASCIA, SOFFIT, GUTTERS AND DOWNSPOUTS

EXTERIOR WALLS
 SIDING AS SPECIFIED
 1" R6 ATLAS ENERGY SHIELD SHEATHING (7/16" OSB ON GARAGE AND GABLES)
 2"x6" STUDS @ 16" O.C.
 DIAGONAL STEEL T-BRACE WIND BRACING
 R20 BATT INSUL. (RSI 3.52) (NOT IN GARAGE)
 TYPE 1 6 MIL POLY AIR/V.B.
 1/2" DRYWALL

APPROVED AIR BARRIER HOUSE WRAP
 AT MULTI-STUD POINT LOADS AT BRICK CANTILEVERS PROVIDE ONE JOIST PER STUD

PROVIDE FLASHING
 BRICK LINTELS AS SPECIFIED

NOTE
 ALL CONSTRUCTION TO COMPLY TO LATEST O.B.C. REQUIREMENTS

PROVIDE FLASHING IF REQUIRED
 APPROVED AIR BARRIER HOUSE WRAP

PROVIDE CONTINUOUS FLASHING
 WEEP HOLES @ 31" O.C. MIN.

EXPOSED FOUNDATION
 GRADE
 6" MIN.

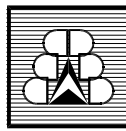
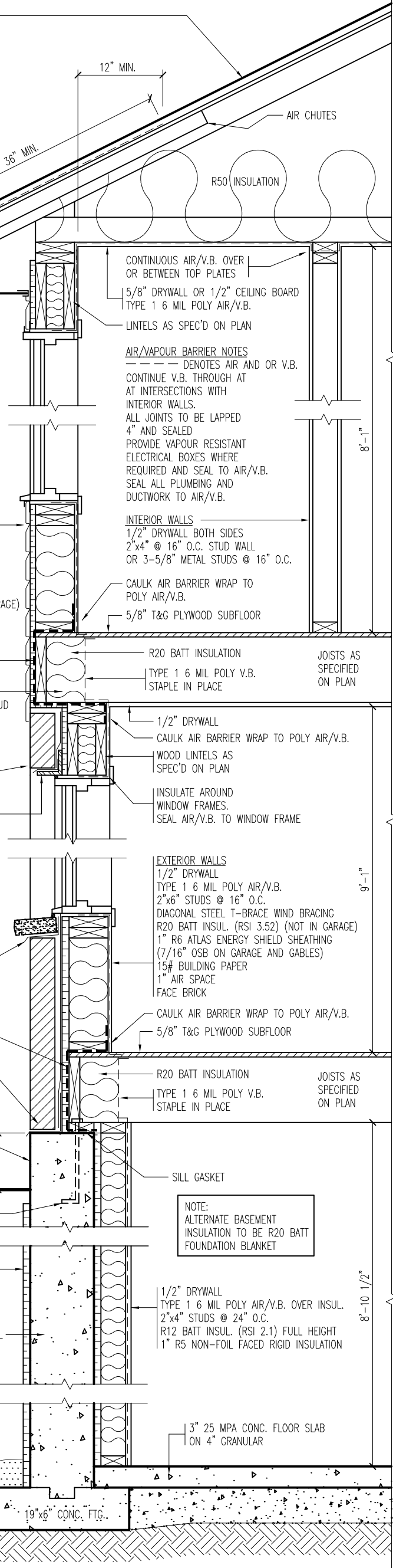
1/2" ϕ ANCHOR BOLTS @ 7'-10" O.C. 4" IN CONC. MIN.

DRAINAGE LAYER

POURED 20 MPA CONC. FOUNDATION WALL W/ BITUMINOUS DAMPPROOFING

4" ϕ WEeping TILE 6" MIN. STONE SURROUND

19"x6" CONC. FTG.



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TYPICAL SECTION

Revision 01
 Drawing No. 7-7